

\*NOTE: REFER TO CIVIL FOR SITE PLAN AND CIVIL INFORMATION.  
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REFER TO LANDSCAPE FOR TREES AND LANDSCAPE INFORMATION.  
CONTEXT SHOWN FOR ILLUSTRATIVE PURPOSES ONLY AND MAY VARY

INDEX

- A-01 ILLUSTRATIVE SITE PLAN
- A-02 FLOOR PLANS
- A-03 FLOOR PLANS
- A-04 FLOOR PLANS
- A-05 BUILDING SECTIONS
- A-06a BUILDING ELEVATIONS
- A-06b BUILDING ELEVATIONS COMPLIANCE DIAGRAM
- A-07 BUILDING ELEVATIONS
- A-08 MATERIAL BOARD
- A-09 TYPICAL UNIT EXAMPLES

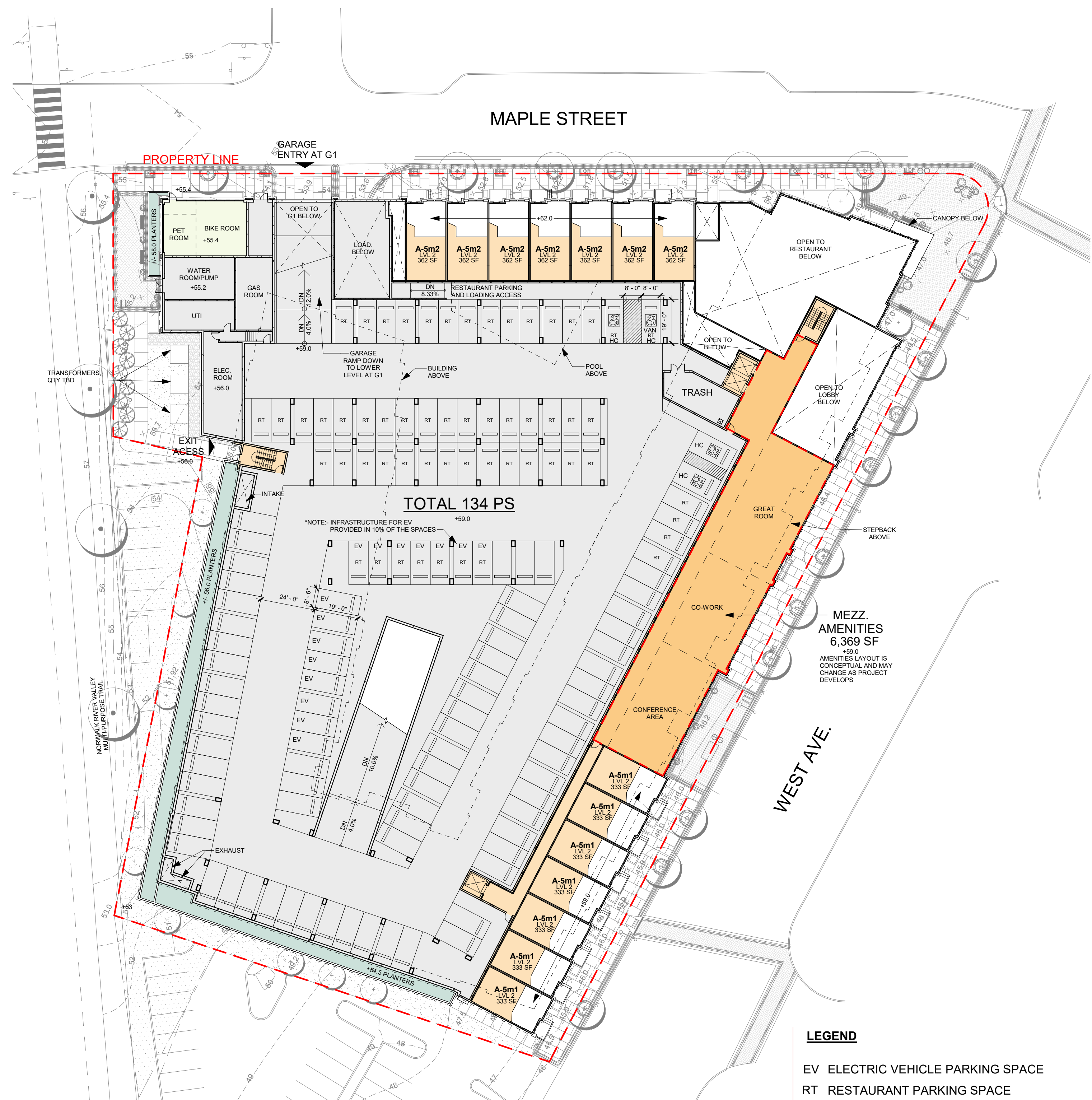
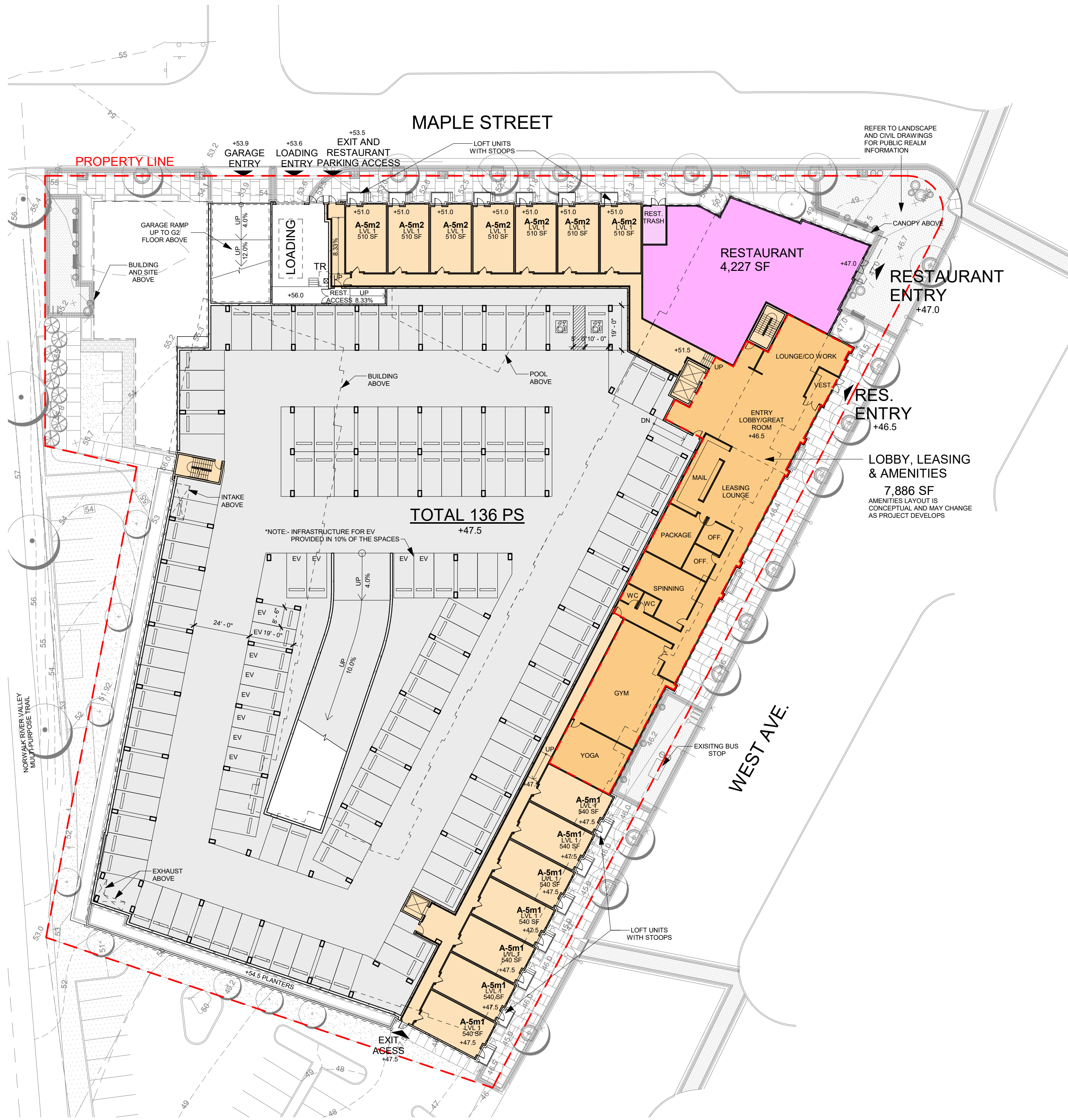
SUMMARY OF PROVISIONS

TOTAL RESIDENTIAL AREA = 220,306 GSF  
TOTAL UNITS = 204 UNITS  
TOTAL RES. PARKING SPACES = 213 PS

RESTAURANT AREA = 4,227 GSF  
RESTAURANT PARKING = 57 PS







- LEGEND**
- EV ELECTRIC VEHICLE PARKING SPACE
  - RT RESTAURANT PARKING SPACE
  - HC HANDICAP PARKING SPACE
  - RESIDENTIAL PARKING SPACE

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## FLOOR PLANS

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370 WEST AVENUE

NORWALK, CT

394 WEST AVENUE, LLC

MAY 31, 2023  
RMS.019B

SCALE: 1" = 30'-0" (@ 22"X34")



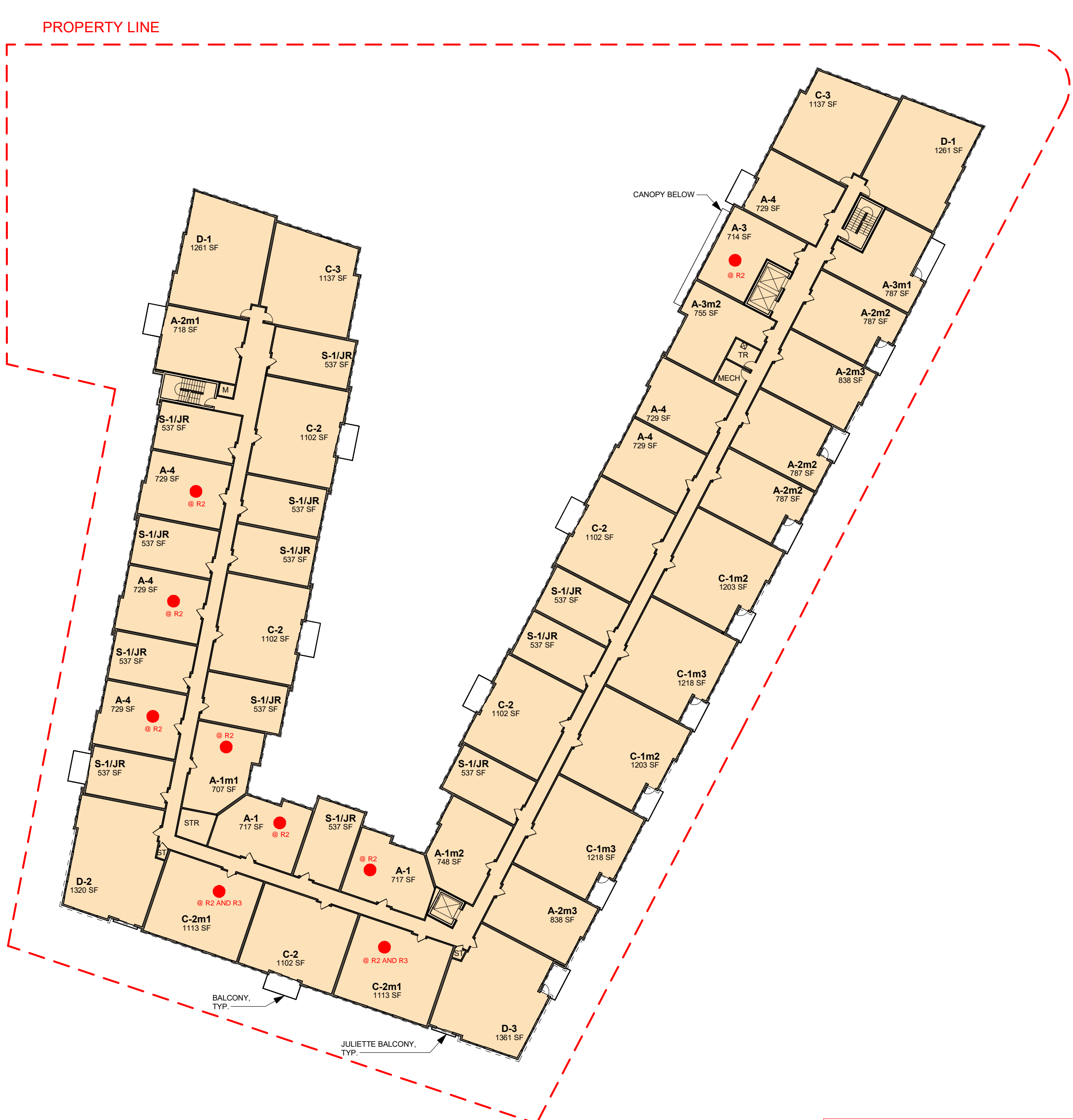
**A-02**





RESIDENTIAL FLOOR PLAN (R1)

RESIDENTIAL AREA 45,494 GSF



TYPICAL FLOOR PLAN (R2-R3)

RESIDENTIAL AREA 45,494 GSF

**LEGEND**

● WORKFORCE HOUSING UNIT LOCATIONS



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## FLOOR PLANS

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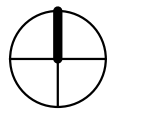
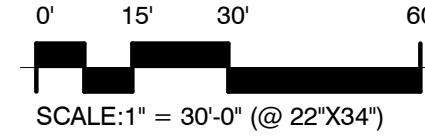
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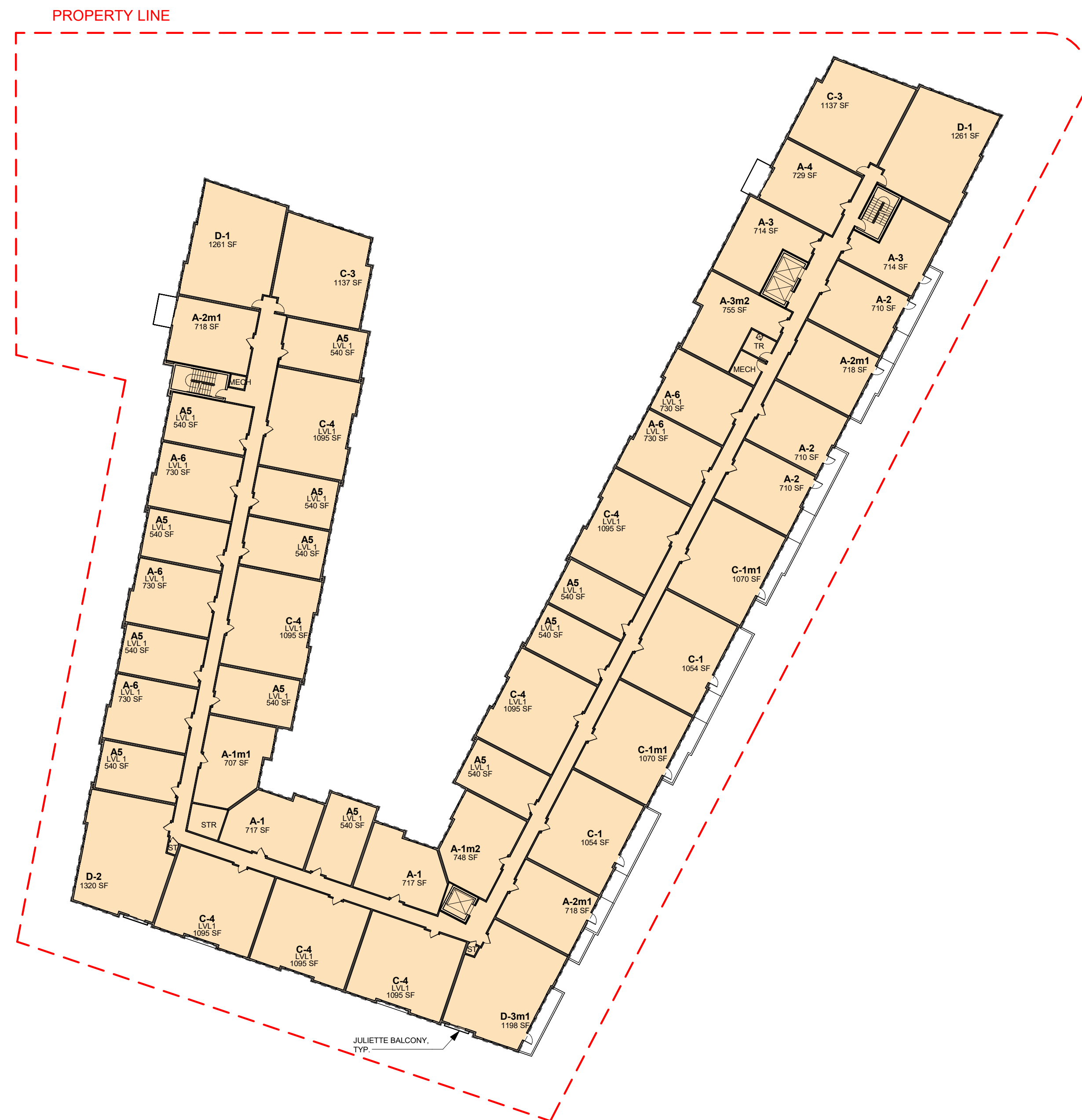
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# A-03





RESIDENTIAL FLOOR PLAN (R4)

RESIDENTIAL AREA 44,228 GSF



R4 LOFT PLAN

RESIDENTIAL AREA 6,165 GSF



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## FLOOR PLANS

SITE PLAN SUBMISSION

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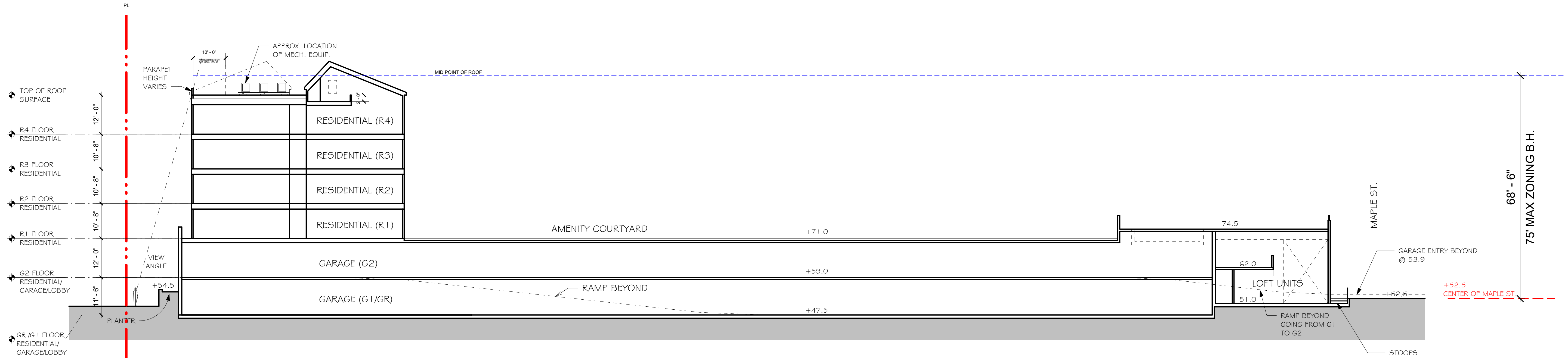
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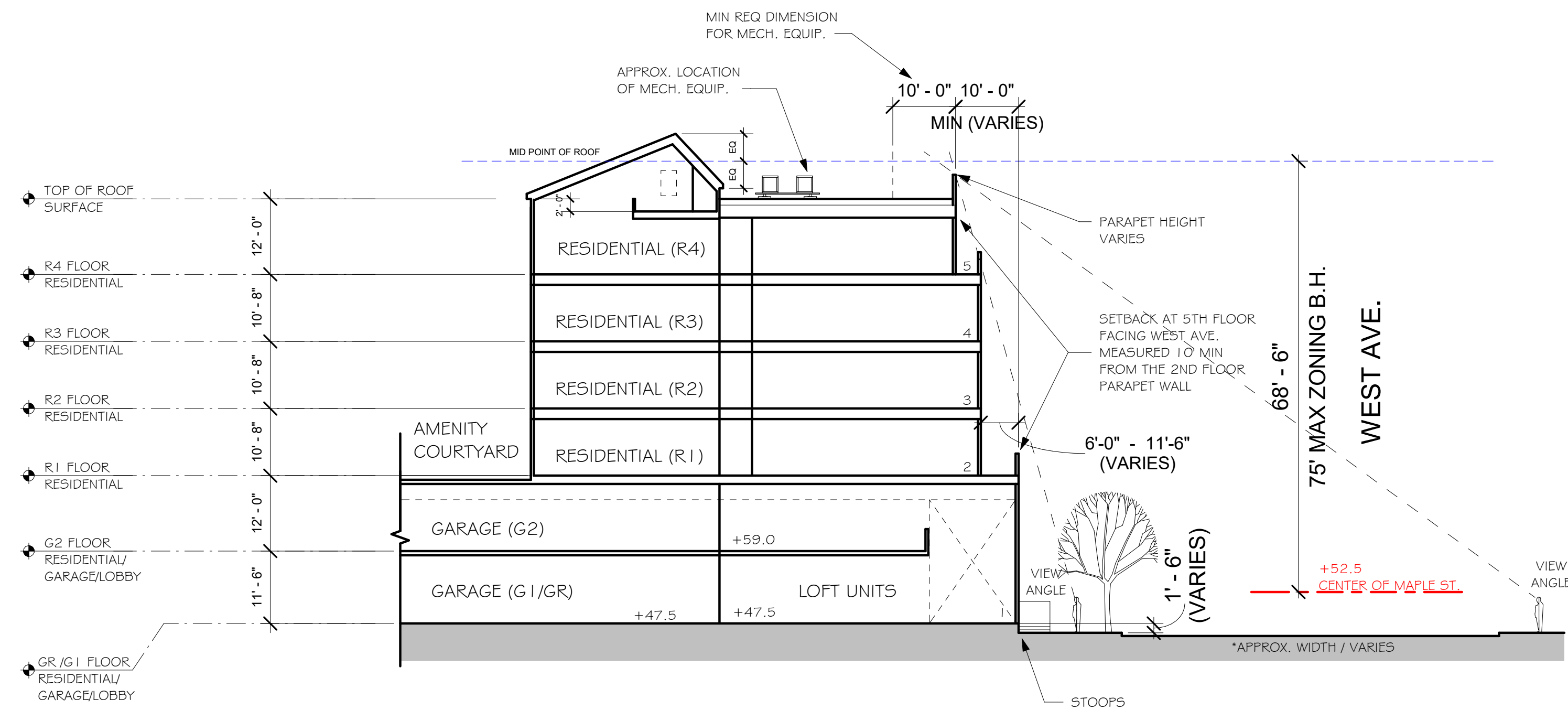
A-04

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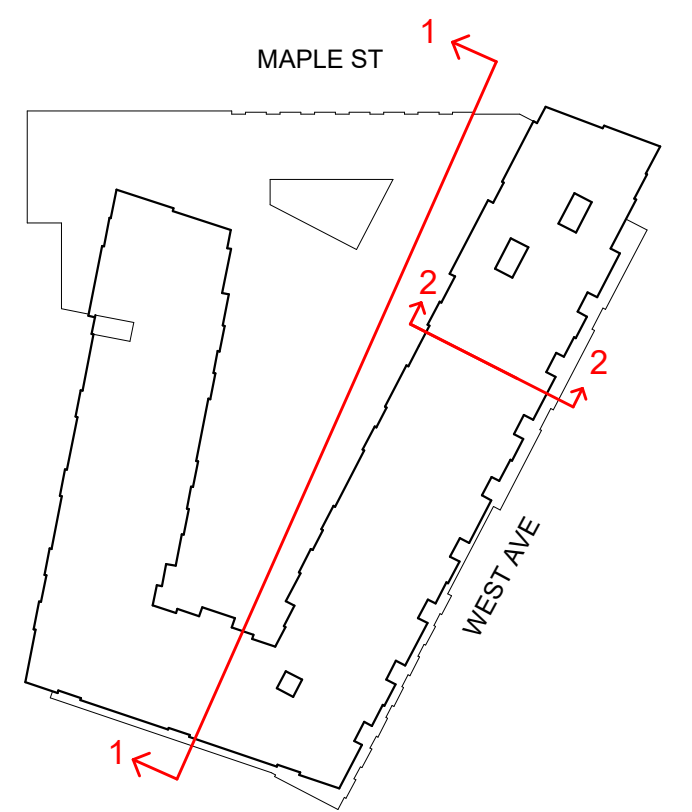




BUILDING SECTION 1



BUILDING SECTION 2



KEY PLAN



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## BUILDING SECTIONS

### SITE PLAN SUBMISSION

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A-05

0' 8' 16' 32'  
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**BUILDING FACADE**  
broken into vertical and horizontal parts that reinforce a rhythm and pattern

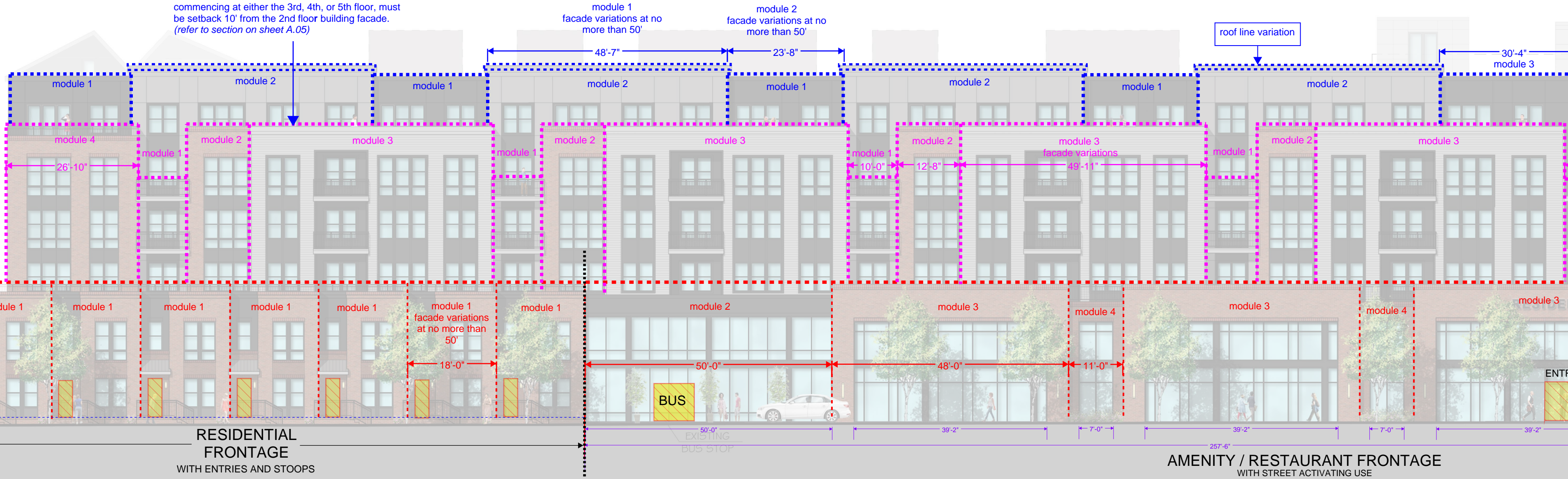
**building top zone**  
distinguished with materials, colors, details and arch features

**building middle**  
repetitive modules and organization

**building base**  
change in material and detail

2 sto. loft units a min of 18" above grade

commencing at either the 3rd, 4th, or 5th floor, must be setback 10' from the 2nd floor building facade. (refer to section on sheet A.05)



\*NOTE: Section 118-810 J - towers as an architectural features are excluded from height provisions.

\*NOTE: Section 118-810 L - "Nothing in these regulations shall prevent the erection above the height limit of a parapet wall or cornice extending above such height limit not more than three feet"

**BUILDING HEIGHT:**

6 stories and 75' max.  
(refer to section on sheet A.05)

Height Exceptions:

Towers - arch features  
Mech. penthouses  
bulk heads

**WEST AVE**

Commercial Corridor

first floor should be occupied by uses that generate pedestrian activity at different hours throughout the day (Retail and Amenities provided)

**TRANSPARENCY CALCULATION**

+/- 257'-6" LF / +/- 209'-6" LF = +/- 81.3%

**GATEWAY FEATURE**

Prominent corner  
add building height, tower element

**RESTAURANT FRONTAGE**  
WITH STREET ACTIVATING USE

**TRANSPARENCY CALCULATION**

+/- 97'-0" LF / +/- 76'-8" LF = +/- 79.0%

**RESIDENTIAL FRONTAGE**  
WITH ENTRIES AND STOOPS

**MAPLE AVE.**  
Connecting Corridor

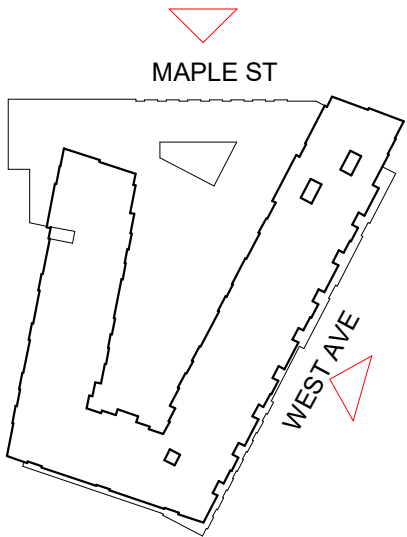
**SERVICE FRONTAGE**  
WITH ACTIVE ACCESS TO BUILDING

**AMENITY FRONTAGE**  
WITH STREET ACTIVATING USE

**TRANSPARENCY CALCULATION**

+/- 41'-2" LF / +/- 32'-6" LF = +/- 78.9%

**PUBLIC REALM**  
(REFER TO LANDSCAPE PLANS)



KEY PLAN

West Ave Redevelopment Plan Area		
	Design Guidelines	Proposed
(Refer to compliance diagrams on sheet A.06b)		
<b>Site Design</b>		
<b>A. Building orientation</b>		
Front facades and primary entrances should face public streets	Building uniformly located at the edge of the sidewalk to create a street wall	Front entrances for residential, retail and entrances to 2 story townhouse style units are facing 2 public streets (West Ave. and Maple St.) and building is located at the edge of sidewalk
<b>B. Site access, parking and loading</b>		
Minimize vehicular access points	Off-parking and loading zones to be located behind buildings and should not be located between the sidewalk and the building frontage	Only 1 vehicular access point proposed on the secondary St. (Maple St.)
Design Loading zones for on demand transportation	Design Loading zones for on demand transportation	Loading zones for on demand transportation to be provided inside the parking garage
curb cuts form secondary streets/alley wherever possible	Primary Frontage	Only 1 vehicular access point proposed on the secondary St. (Maple St.)
Secondary Frontage	Frontage build-out - min of 50% of primary frontage line	Maple St.
Loading - shall be on private premises when feasible	Loading - shall be on private premises when feasible	Loading proposed to be internal to the building
<b>Building/Architectural Design</b>		
<b>A. Building massing</b>		
Structures should be designed to reduce their perceived height and bulk by dividing the building mass into smaller-scale components	Building facade has been divided into smaller components by a change in plane, steps, materials and/or architectural features (such as cornices and balconies) to reduce their perceived height and bulk.	Refer to Building Elevations on sheets A.06 and A.07
step back at the 5th story	Step back provided in the 5th story	Step back provided in the 5th story
Prominent corner sites or recognized gateway should have features that recognize the corner and respond to it with a suitable form. Examples include lower, cupola elements, corner detailing, additional building height, or other building forms that provide visual anchor.	The corner of the Building is recognized as a gateway and features a taller element with a change in material and which massing engages a roof terraces on top and the public realm at the ground floor providing a visual anchor to the building design.	
Sustainable Design Principles and practices should be employed in the design of buildings	Building will have provisions for Sustainable Design Principles such as EV Charging Station, Solar charging stations (refer to landscape), bike storage, Recycling, Energy Star Appliances and natural ventilation. These provisions may be revised as project develops.	
<b>B. Roof lines</b>		
variation in massing so as to appear as a series of side-by-side buildings	Buildings should have a distinct base, middle and top. This can be achieved with color, materials and setbacks.	Building has been designed with a distinctive base, middle and top. Refer to compliance diagram on page A.06a
max. 50' without variation in roof line	max. 50' without variation in roof line	Proposed design proposes roofline variations of 50' max.
<b>C. Building facades</b>		
broken into vertical and horizontal parts that reinforce a rhythm and pattern	Building facade has been broken into vertical and horizontal parts with repetitive patterns, change in architecture character, setbacks and massing changes which reinforce a rhythm and pattern in the design.	Building facade design provides a variety of materials such as brick, metal panel in wood color, railing, fiber cement siding and paneling that provides texture in the design. Outdoor Amenities, building steps and change in building planes provide additional depth to the design.
75% min. of the ground floor of street facing facade to be composed of transparent material	Refer to compliance diagram on sheet A.06b	Refer to compliance diagram on sheet A.06b
Building Top Zone : range form 2' to multiple stories, should be distinguished with materials and architectural details	Building Top Zone : range form 2' to multiple stories, should be distinguished with materials and architectural details	Top floor and roof line are distinguished with different materials, colors and architectural details at the cornice.
Building Middle: facade with generally repetitive organization of fenestrations	Building Middle: facade with generally repetitive organization of fenestrations	Building middle designed with repetitive organization of windows and architectural character sections.
Building Base: distinguished from middle by a change in materials and architectural details height may range from 2' to multiple stories	Building Base: distinguished from middle by a change in materials and architectural details height may range from 2' to multiple stories	Proposed Building Base is distinguished from the middle by a change in material (predominately brick), a change in massing (stepback) proportion (taller ground floor) and architectural detail such as storefront windows and residential unit with stoops.
min 75% transparent surface at ground floor	min 75% transparent surface at ground floor	Proposed design features a 75% min transparent surface at ground floor
Max. 50' without variations	Max. 50' without variations	Refer to compliance diagram on sheet A.06b
building facade and architectural character has been designed with articulation and variations of not more than 50'	building facade and architectural character has been designed with articulation and variations of not more than 50'	Refer to compliance diagram on sheet A.06b
<b>E. Sustainable/Green Infrastructure</b>		
new developments should include green infrastructure	Building will have provisions for Sustainable/Green Infrastructure such as EV Charging Station and Solar charging stations (refer to landscape).	These provisions may be revised as project develops.
<b>Corridor Typologies</b>		
<b>Corridor Typologies</b>		
Commercial Corridor - West Ave. first floor should be occupied by uses that generate pedestrian activity	Commercial Corridor - West Ave. first floor should be occupied by uses that generate pedestrian activity	The First Floor Frontage is occupied by residential stoop with access to 2 story townhouse styles residential units, Amenities and Restaurant use.
75% of ground floor of street facing facade should be composed of transparent materials	75% of ground floor of street facing facade should be composed of transparent materials	Proposed design features a 75% min transparent surface at ground floor
Corner Site - Maple St. Emphasis should be placed on enhancing pedestrian conform and improving mobility for vehicles and cyclist. Street trees, sidewalks, street furniture, lighting and loading zones should be included along connecting corridors.	Corner Site - Maple St. Emphasis should be placed on enhancing pedestrian conform and improving mobility for vehicles and cyclist. Street trees, sidewalks, street furniture, lighting and loading zones should be included along connecting corridors.	Refer to compliance diagram on sheet A.06b



\*NOTE: PRODUCTS AND MANUFACTURERS LISTED ARE SUBJECT TO CHANGE AND/OR TO BE SUBSTITUTED WITH EQUIVALENT AND COMPATIBLE OPTIONS. SIGNAGE BY OTHERS ARE CONCEPTUAL AND SHOWN FOR ILLUSTRATIVE PURPOSES ONLY.



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**BUILDING ELEVATIONS  
COMPLIANCE DIAGRAM**

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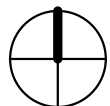
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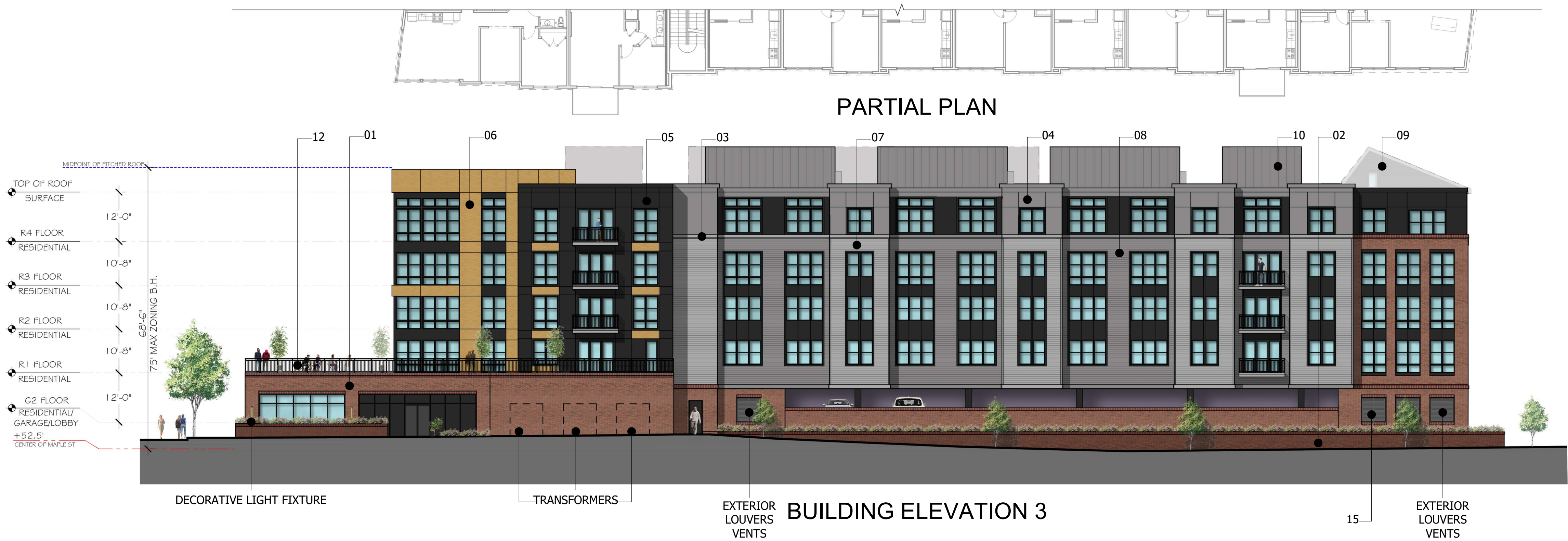
**RMS COMPANIES**

**A-06b**

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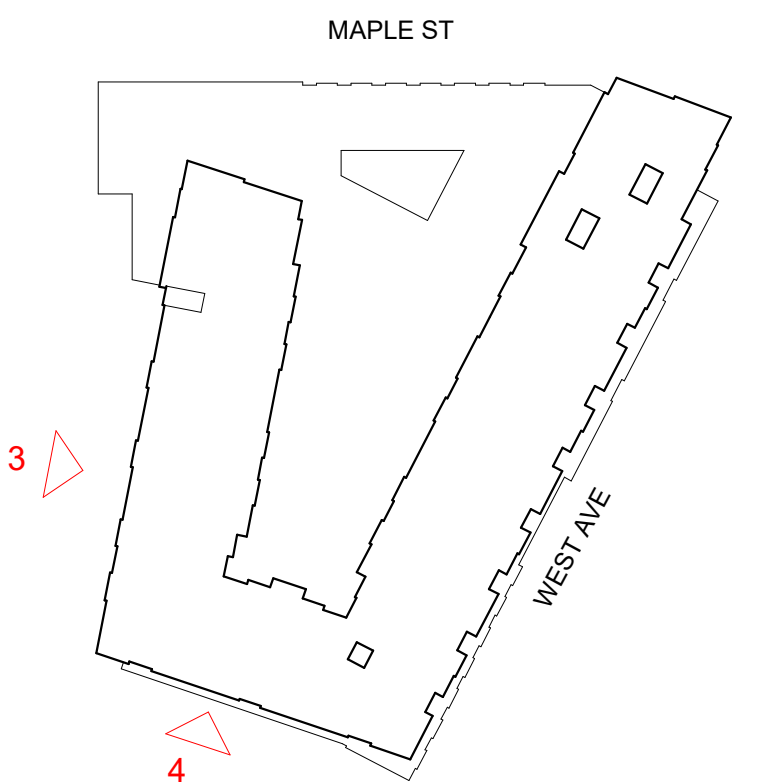






**MATERIAL LEGEND**

- 01 BRICK - RED
- 02 BRICK - DARK RED
- 03 FIBER CEMENT PANEL- LIGHT GREY
- 04 FIBER CEMENT PANEL - MEDIUM GREY
- 05 FIBER CEMENT PANEL - DARK GREY
- 06 METAL PANEL - WOOD
- 07 FIBER CEMENT SIDING - LIGHT GREY
- 08 FIBER CEMENT SIDING - MEDIUM GREY
- 09 FIBER CEMENT SIDING - DARK GREY
- 10 METAL STANDING SEAM ROOF - MEDIUM GREY
- 11 METAL CANOPY - DARK GREY
- 12 METAL RAILING - DARK GREY
- 13 GLASS RAILING - DARK GREY
- 14 JULIETTE BALCONY - DARK GREY
- 15 ARCHITECTURAL LOUVERS - DARK GREY



KEY PLAN



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**BUILDING ELEVATIONS**

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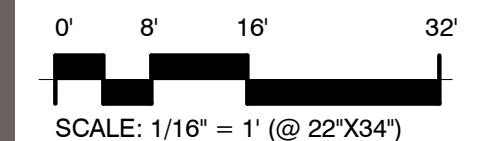
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RMS.019B

**A-07**







**01** **BRICK**  
RED



**02** **BRICK**  
DARK RED



**03** **FIBER CEMENT PANEL**  
LIGHT GREY



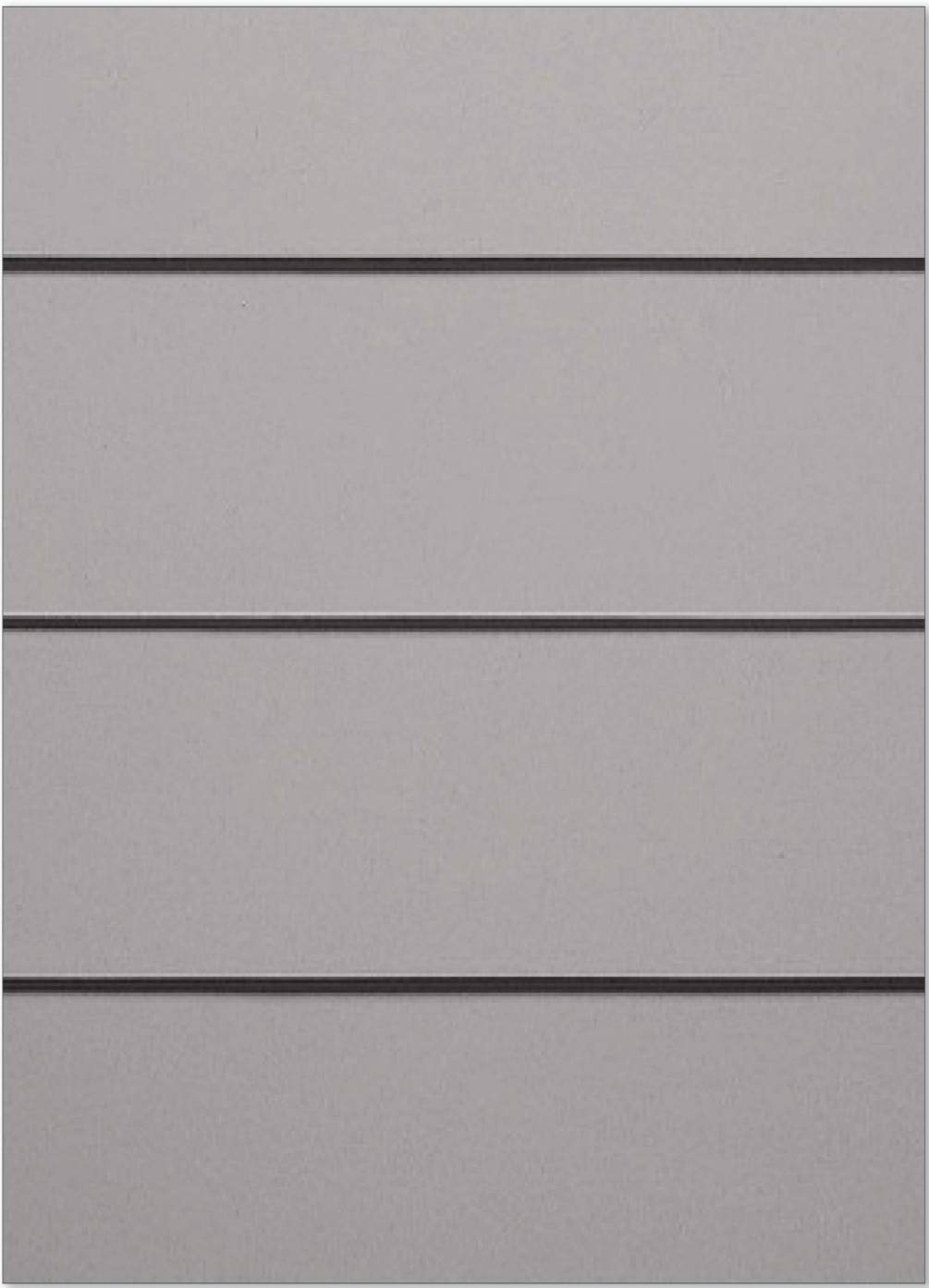
**04** **FIBER CEMENT PANEL**  
MEDIUM GREY



**05** **FIBER CEMENT PANEL**  
DARK GREY



**06** **METAL PANEL**  
WOOD



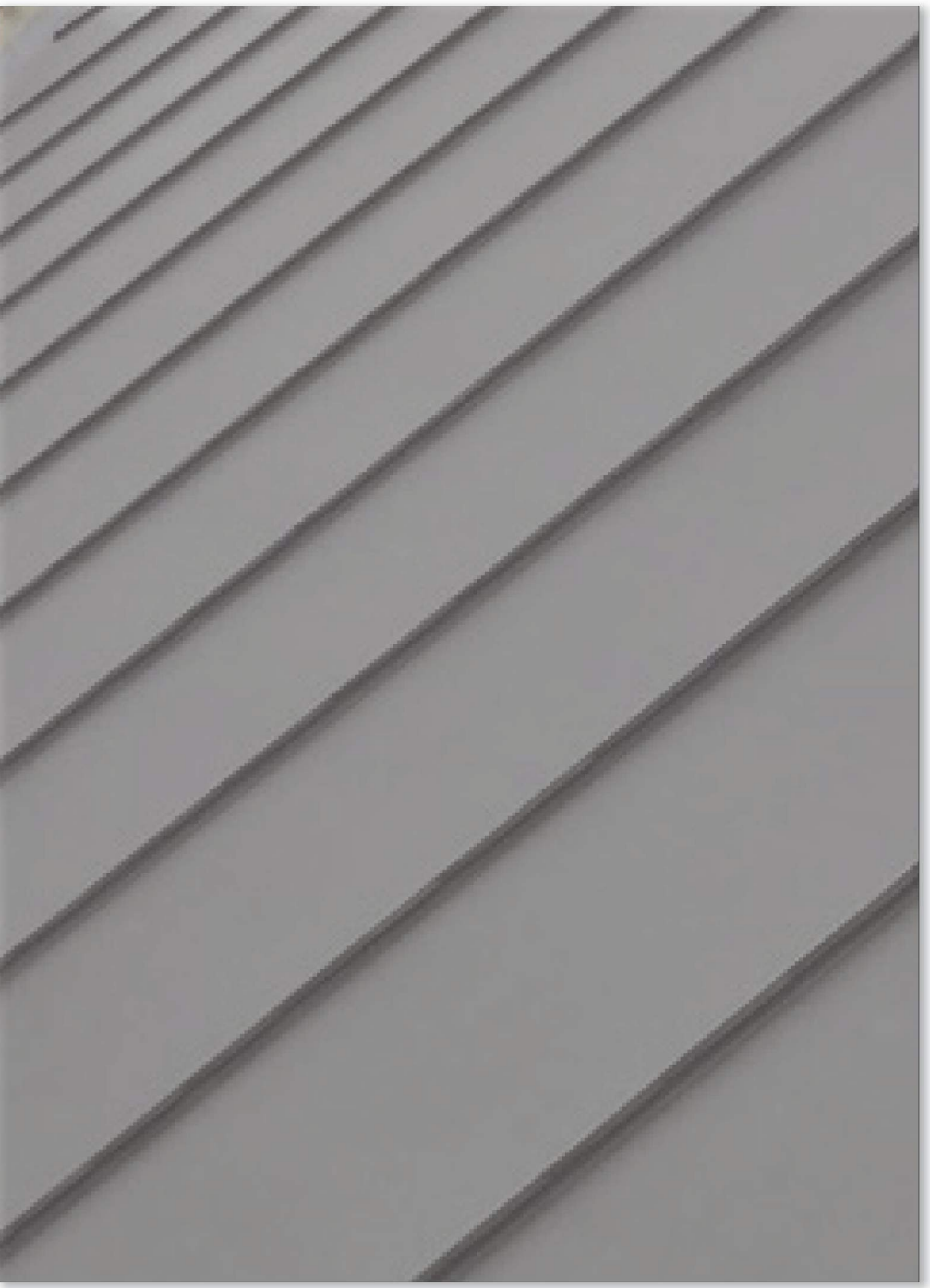
**07** **FIBER CEMENT SIDING**  
LIGHT GREY



**08** **FIBER CEMENT SIDING**  
MEDIUM GREY



**09** **FIBER CEMENT SIDING**  
DARK GREY



**10** **METAL STANDING SEAM ROOF**  
MEDIUM GREY



**11** **METAL CANOPY**  
DARK GREY



**12** **METAL RAILING**  
DARK GREY



**14** **JULIETTE BALCONY**  
DARK GREY



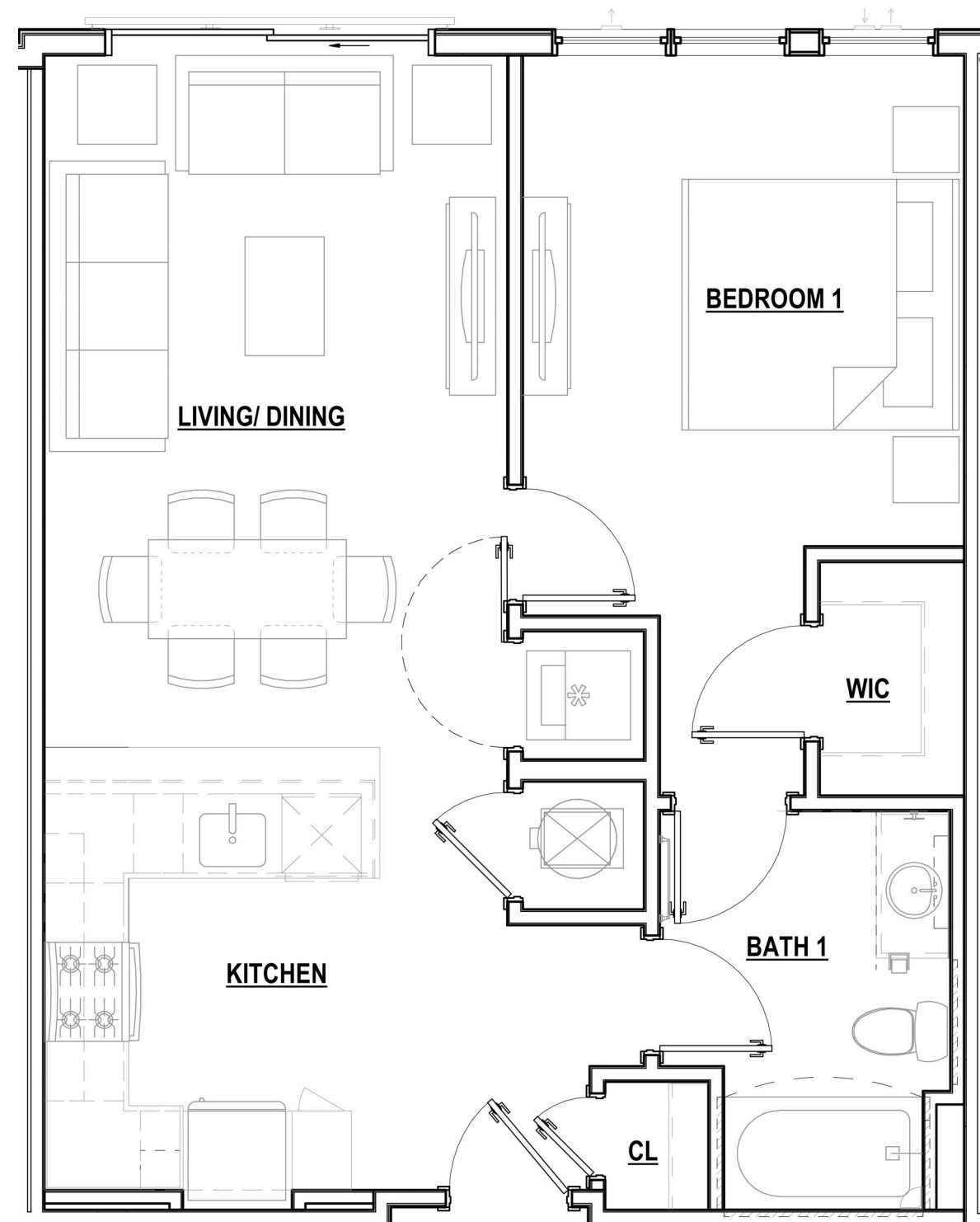
**13** **GLASS RAILING**  
DARK GREY



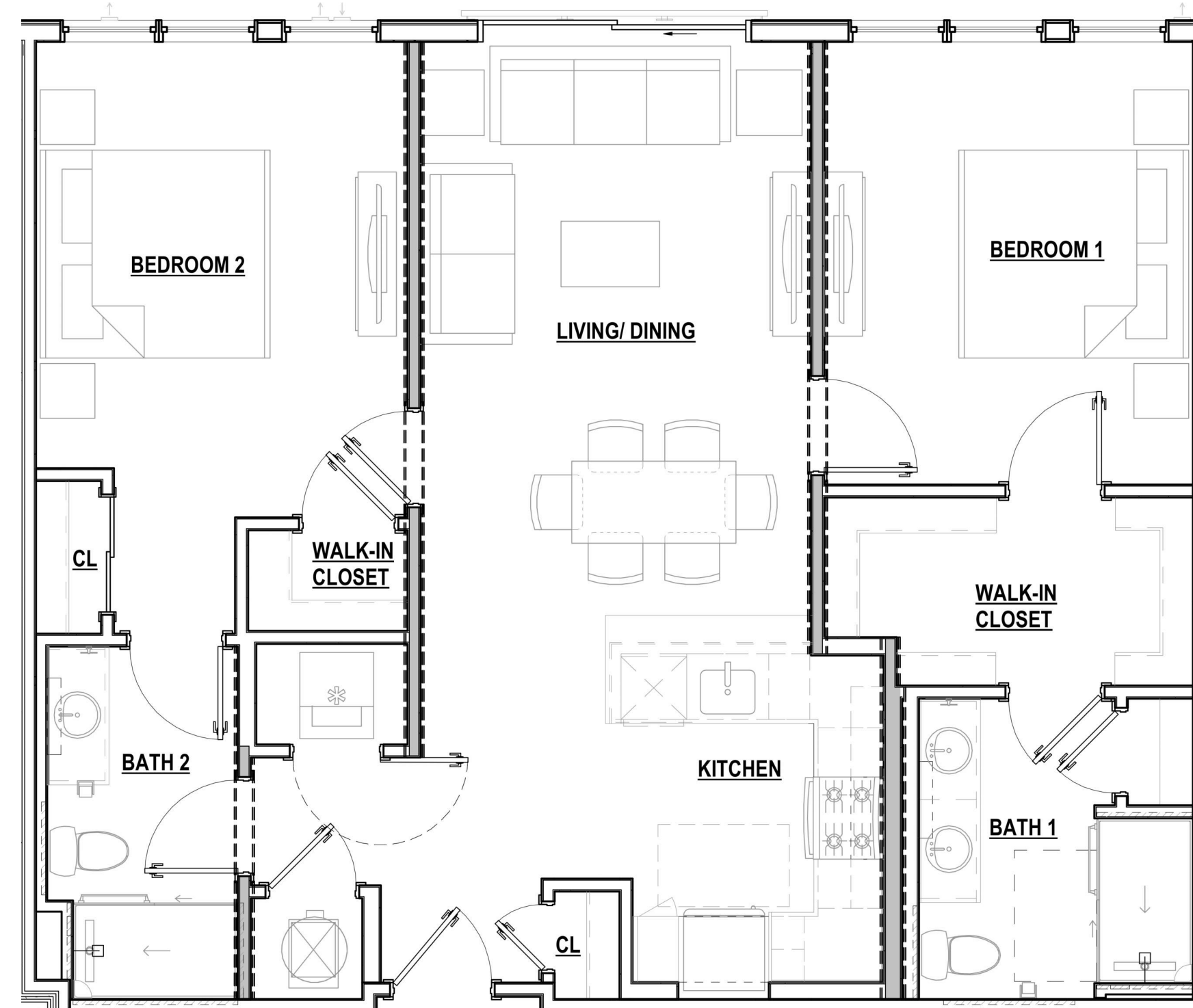
**15** **ARCHITECTURAL LOUVERS**  
DARK GREY

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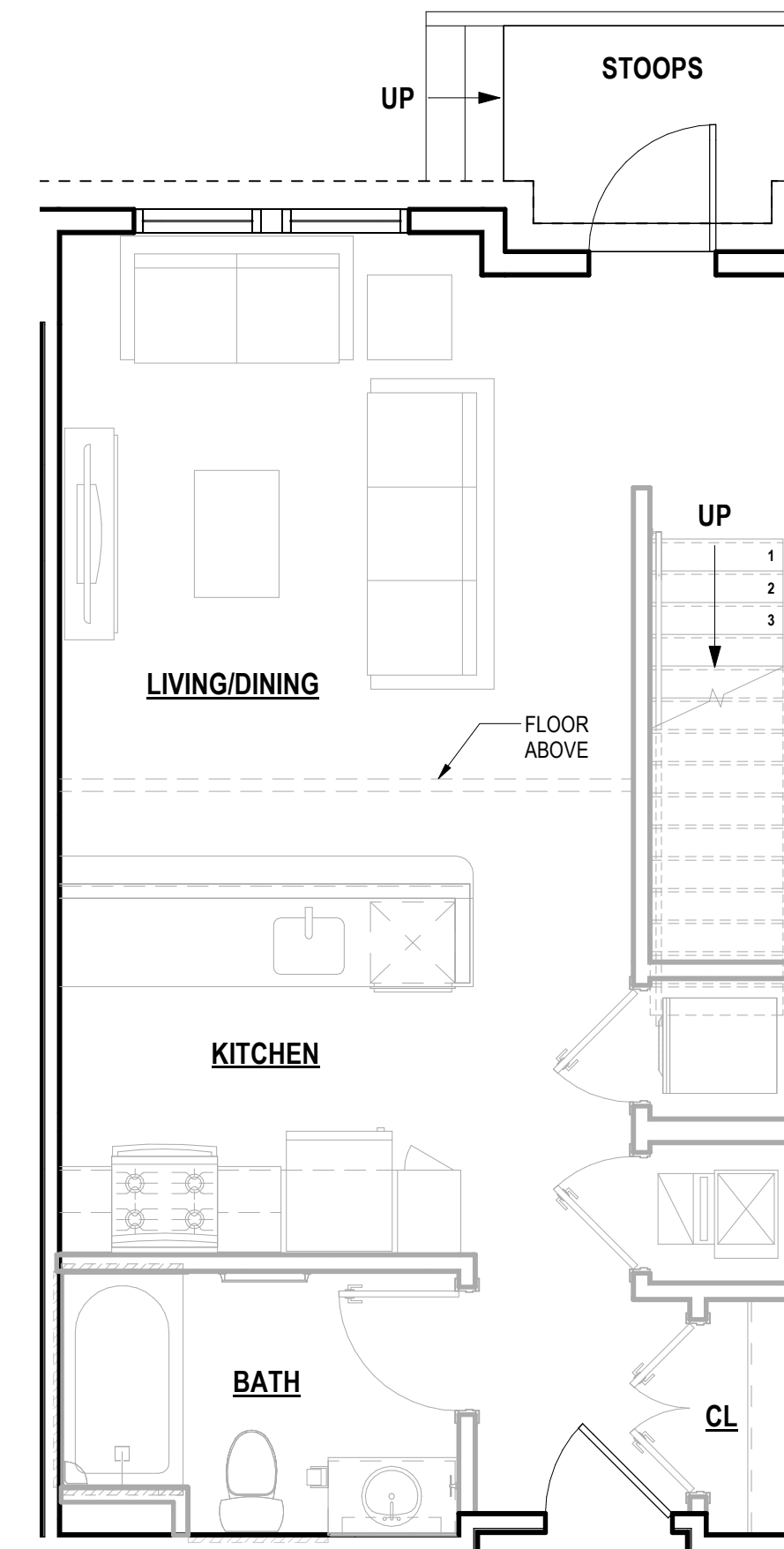




**1 BR/ 1 BA**  
**EXAMPLE**

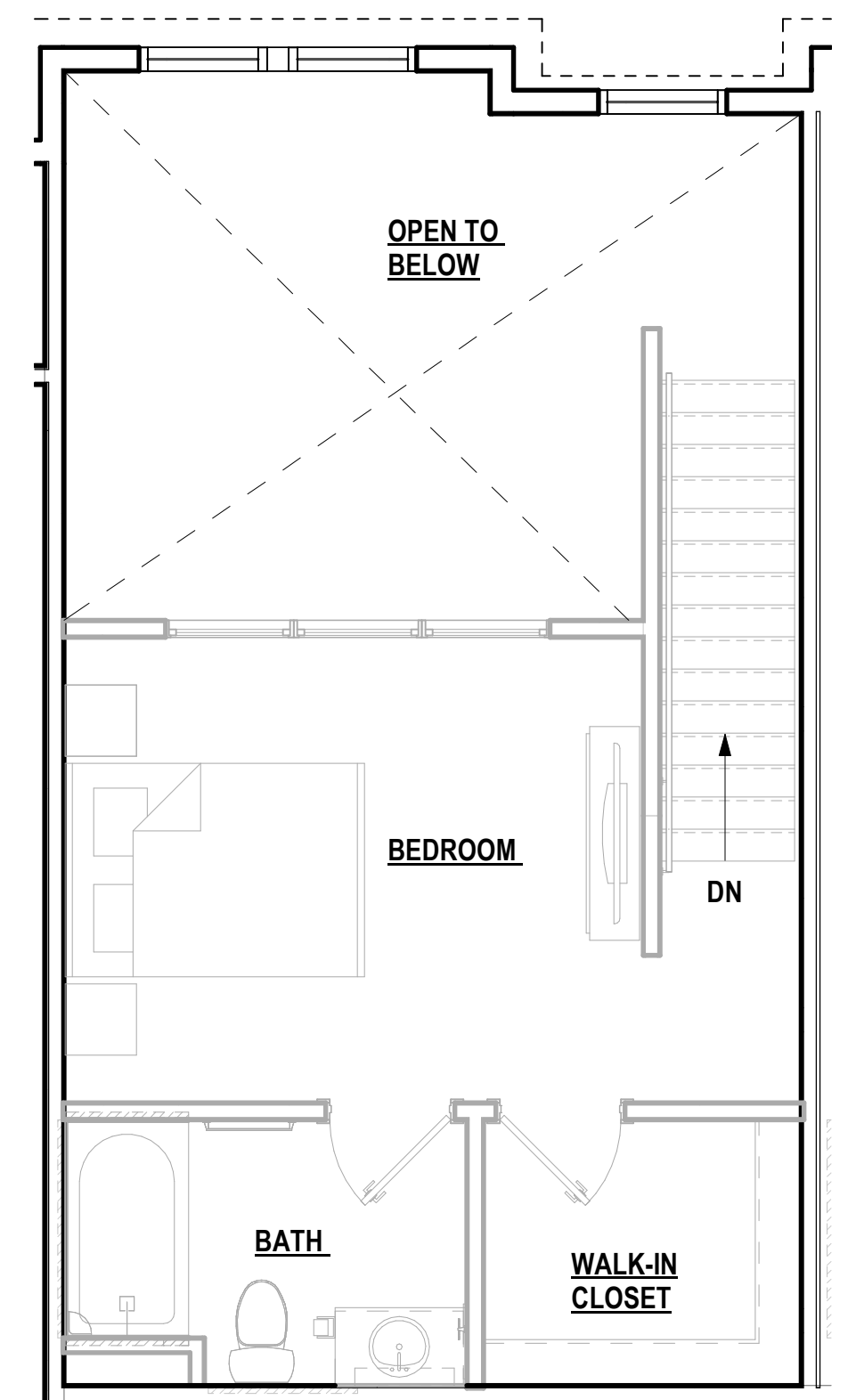


**2 BR/ 2 BA**  
**EXAMPLE**



\* LOWER LEVEL

**LOFT UNIT**  
**1 BR/ 2 BA**  
**EXAMPLE**



\* UPPER LEVEL

\*NOTE:UNIT LAYOUTS ARE GENERAL AND SHOWN ONLY FOR REFERENCE AND DESIGN MAY VARY AS THE PROJECT DEVELOPS.



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## TYPICAL UNIT EXAMPLES

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0' 2' 4' 8'  
SCALE:1/4" = 1'-0" (@ 22"X34")



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**A-09**